

## SECTION 750: GENERAL PROVISIONS

### 750.1 Purpose

The intent and purpose of the Traditional Neighborhood District (TND) is to encourage the development and redevelopment of compact, attractive, and walkable mixed use neighborhoods consistent with the design principles of Traditional Neighborhood Design. This involves connecting a range of activities in a cohesive pedestrian friendly environment.

The TND allows flexible development for Greenfield or infill sites that will incorporate and encourage protection of natural resources and open space. The TND also allows more dense development therefore, reducing some of the need to travel by automobile. Traditional Neighborhood Development fosters efficient use of land and infrastructure such as roads, water, sewer and other utilities. The Traditional Neighborhood District encourages a variety of housing types and styles that will provide accommodations for a range of ages, family sizes and income levels.

### 750.2 Applicability

The Traditional Neighborhood District is intended for Greenfield or infill projects that are served or will be served by adequate infrastructure.

To be considered for Traditional Neighborhood District (TND) zoning designation, a project must meet the following requirements:

1. For Greenfield development the site must contain a minimum of 20 acres.
2. For infill development the site must contain a minimum of 2 acres.
3. An application for rezoning must be filed jointly by all property owners.
4. The site must have adequate access to public water and sewer facilities.

## SECTION 750.3: PRINCIPLES OF THE TRADITIONAL NEIGHBORHOOD DISTRICT

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- **Compact Design** – An identifiable neighborhood, community center and edges are an essential part of TND. Neighborhoods should be compact enough to encourage development of pedestrian scale with easily connected destinations. Features in the neighborhood should be safe, attractive and easily negotiated by both the pedestrian and the automobile.
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- **Mixed use** – A diverse mix of activities (residences, shops, schools, workplaces and parks, etc.) occur in close proximity to one another. Many activities of daily living should occur within walking distance, allowing independence to those who do not drive and addition to the vitality of the neighborhood.
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- **Architectural Standards** – Dimensional and material configurations create distinct and unique places through the use of structural forms. Using forms and cohesive styles help to create outdoor rooms and add to the quality of the built environment.
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- **Landscape Standards** – Landscaping standards provide appropriate planting species, materials and patterns to unify the outdoor public areas.
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- **Connectivity** – Streets and roads function as a connected network, dispersing traffic and offering a variety of pedestrian and vehicular routes to any destination while connecting and integrating the neighborhood with surrounding communities and when applicable alternative transportation methods are encouraged.
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- **Open Space** – Open spaces, greens and parks should be accessible and convenient to all who live in the community. Significant cultural and environmental features are incorporated into the design of the development for the use, benefit, and enjoyment of the entire community. A range of parks,
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from small children's parks and village greens to ballfields and community gardens should be encouraged throughout the neighborhood(s).

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- **Cultural Elements** – Specific cultural and environmental features of a site may influence the way a site is developed. Developments with a clear “sense of place” require careful design and consideration of context.
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## **SECTION 750.4: ADMINISTRATIVE PROCEDURES**

The TND promotes flexible land use patterns and densities, but also requires a higher standard for land planning, architectural and landscaping design compared to other zoning districts in Horry County. An initial conference shall be required prior to a request for rezoning to a TND. This conference is held to review the applicant(s) intended proposal and to discuss procedures for submitting documents. Following the pre-application conference a preliminary plan may be submitted for review by the planning department, after which a final plan may be submitted to be acted upon by the Horry County Planning Commission and County Council.

### **(A) Procedures**

#### **Step I.**

Pre-application conference - Before submitting a TND application, the applicant shall schedule an appointment and meet with a planner on staff to discuss the procedure for a Traditional Neighborhood District project, including submittal requirements and design standards.

#### **Step 2.**

Preliminary Submittal Requirements – Following the pre-application conference, the applicant shall submit a Preliminary Submittal Plan for the Traditional Neighborhood project. The preliminary plan will be reviewed by the Horry County Planning Department. The submission documents shall include:

1. A general location map of suitable scale, but no less than (1) one inch = 1,000 feet, which shows the location of the property within the community and adjacent parcels including a general drawing illustrating the location of any public streets, railroads, major streams or rivers, proposed open space areas, including acreage; and other major features within 1,000 feet of the site.
2. A site inventory and analysis to identify site assets or resources, and constraints, and utility easements.
3. A conceptual site plan, at a scale of no less than (1) one inch = 200 feet, and shall contain scale, north arrow, geographic center and total acreage of the proposed TND. The features referred to may include, but are not limited to, number and type of dwelling units proposed, building footprints, location of streets, transit stops, drives and parking areas, pedestrian and bicycle paths, service access areas for receiving material and trash removal.
4. A conceptual plan identifying the architectural style(s) of the TND and the accompanying site design style(s).
5. Any other information deemed necessary by the Horry County Planning Department in order to evaluate the plans.
6. Three copies shall be submitted for departmental review.

**Step 3.**

Department Review – After review of the preliminary plan, staff will provide review comments within 10 business days. After which a final plan may be submitted for final review to the Horry County Planning Department.

**Step 4.**

Final Submittal– A final submittal plan shall be submitted to the Horry County Planning Department. The purpose of the final submittal plan is to establish a detailed development proposal. The final submittal plan can be proposed, reviewed, and acted upon as a whole or in part.

Final Submittal requirements include:

1. A general location map of suitable scale, but no less than one inch = 1,000 feet, which shows the location of the property within the community and adjacent parcels including locations of any public streets, railroads, major streams or rivers and other major features.
2. A site inventory and analysis to identify site assets or resources, and constraints, and utility easements.
3. The location and dimensions of proposed and existing structures or lots (typicals).
4. The location of street and pedestrian lighting.
5. The location and acreage of proposed public open space.
6. The circulation system indicating pedestrian, bicycle, and motor vehicle movement systems, including existing and proposed public streets or right-of-ways, transit stops, easements or other reservations of land on the site, the location and dimensions of existing and proposed curb cuts, off-street parking and loading spaces, including service access for receiving and trash removal, sidewalks and other walkways.
7. A written report that summarizes the proposal and includes a statement that describes the proposed ownership and maintenance regime for all delineated open space and infrastructure systems.
8. Phasing plans, where applicable.
9. Any other information deemed necessary by the Horry County Planning Department in order to evaluate plans.
10. Provisions shall be made for the ownership and maintenance of streets, squares, parks, and public open space in the TND.

## SECTION 750.5: USES

### (A) CHARACTER AREAS

**Neighborhood Center Area:** The Neighborhood Center Area serves as a focal point in the TND. The central core contains employment centers, retail, commercial, civic, and other public services to meet the daily needs of community residents. The Neighborhood Center is a pedestrian oriented area, and designed to encourage pedestrian movement between the more centralized commercial area and more residential areas. The Neighborhood Center Area uses include all permitted uses including but not limited to, retail shops, restaurants, offices, banks, post office, governmental offices, churches, town centers, and all residential dwelling types.

**Neighborhood General Residential Area:** The Neighborhood General Residential Area serves a mix of housing types by accommodating a range of housing options sensitive to a variety of ages, family sizes and income levels. This area of the neighborhood is less dense than the Neighborhood Center. The General Residential Area may include all residential dwelling types.

**Neighborhood Edge Area:** The Neighborhood Edge Area is the least dense portion of the TND. Lots are generally larger and have greater setbacks than other locations in the neighborhood. Commercial uses are not located in this area.

### (B) Permitted Uses

1. Accommodations (bed and breakfast establishments, small hotels or inns);
2. Animal grooming facilities (indoor only)
3. Ball fields; swim pools, tennis courts, amphitheaters, gazebos and other recreational uses.
4. Civic, and cultural uses;
5. Commercial uses;
6. Community town hall, fire stations, libraries, municipal offices, museums, performing arts centers, police stations, post offices and recreational facilities.
7. Continuing Care Retirement Communities (CCRC's)
8. Educational facilities
9. Farmers markets
10. Food services such as, but not limited to, neighborhood grocery stores; bakeries; coffee shops, restaurants, cafes, neighborhood bars or pubs (Drive-through windows are discouraged);
11. Government buildings;
12. Live/work townhome units;
13. Multi-family dwellings including but not limited to, apartments, condominiums and senior housing;
14. Open Space Uses such as a Central Square, Plazas, Greenways, Neighborhood parks and playgrounds;
15. Places of worship;
16. Retail uses such as but not limited to florists or nurseries; hardware stores; stationary stores; book stores; clothing stores and gift shops, studios, and shops of artists and artisans;
17. Residential units located on upper floors above commercial uses;
18. Schools;
19. Secondary dwelling units such as granny flats above garages;
20. Services (day care centers, music, dance or exercise studios, offices, including professional and medical offices, barber; hair salons, day spas, banks, and dry cleaning facilities);
21. Single-family detached dwellings
22. Single-family attached dwellings including duplexes, rowhouses, townhomes and patio homes.
23. "Special needs" housing such as community living arrangements and assisted living facilities.

**(C) Conditional Uses**

1. Street vending
  - a. Must obtain approval from the HOA or POA.

**(D) Accessory Uses**

1. Accessory dwelling
2. Granny flats
3. Home occupation

**(E) Home Occupation Use** Office space located on an attached or detached home lot (other than a live/work townhome) used for the transaction of business or professional services provided:

1. The business will not change the residential character of the dwelling;
2. No outside storage associated with the office or commercial use is permitted;
3. No display or advertising is permitted;
4. Vehicles used as passenger vehicles only will be permitted in connection with the home occupation office use.

**(F) Prohibited Uses**

Chemical manufacturing, sexually oriented businesses, storage distribution which requires more than 5,000 square feet, manufactured homes, billboards, outdoor kennels and boarding facilities, bulk outdoor storage, prisons, detention centers and any use which produces the following adverse impacts: noise at a level greater than typical street traffic noise, offensive vibration or the emission of noxious solids, liquids or gases.

**(G) Special Exceptions**

Any use not expressly or implicitly listed in the TND ordinance may be proposed by the property owner and may be permitted by the Horry County Planning Commission and the Horry County Council upon determination that the proposed use is compatible to other nearby uses. A listing of “uses not expressly permitted” within the TND District may be proposed during the initial approval process and will be adopted as part to the amendments that apply to that TND. These uses may not be considered for permitting otherwise.

**SECTION 750.6: DESIGN STANDARDS: LOT AND BLOCK STANDARDS**

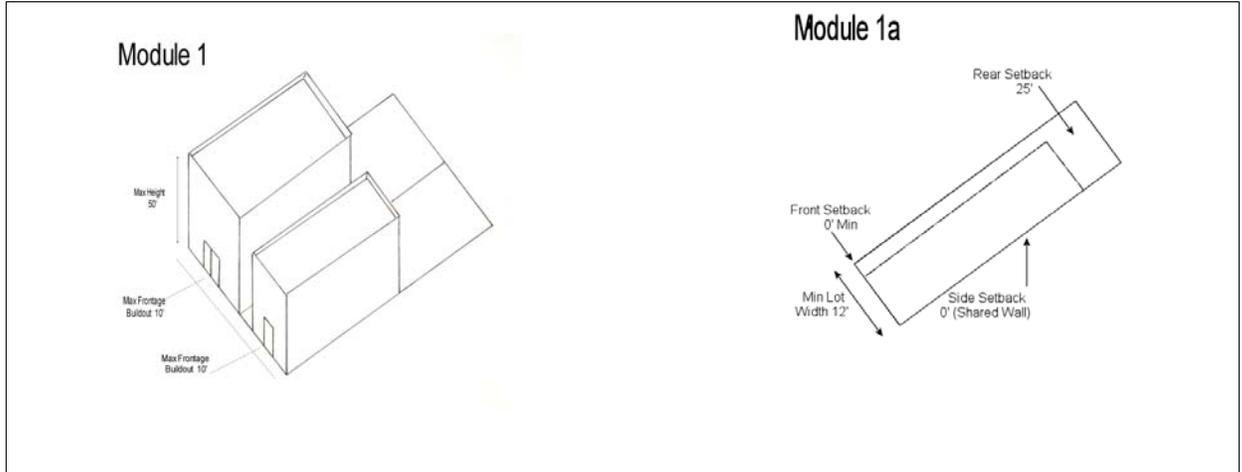
**(A) General Building Disposition**

1. Block and lot size diversity
  1. Street layouts should provide for perimeter blocks that are generally in the range of 200-400 feet deep by 400-800 feet wide, measured from centerline to centerline. A variety of lot sizes will help to facilitate housing diversity and provide a range of housing options.
2. Lot widths
  1. Lot widths should create a relatively symmetrical street cross section that reinforces the public space of the street as a simple, unified public space.
  2. A consistent building line should be maintained at the setback line along the street frontage and side if located on a corner lot.
3. Building configurations for the Neighborhood Center Area. See below Module 1: Mixed-Use (Live/Work) Building, and Module 2: Civic / Institutional Building
4. Building configurations for the Neighborhood General Residential Area. See Module 3: Attached Dwelling, Module 4: Detached Dwelling

## Module 1: Mixed-Use (Live/Work) Building

*Description: Commercial and residential activities comprise the mixed-use building. Typically ground floors are used for commercial activities with residential and office uses in upper level floors. These buildings are critical to the neighborhood in providing daily needs. General uses may be grocery stores, retail shops and offices.*

### Lot Dimensions



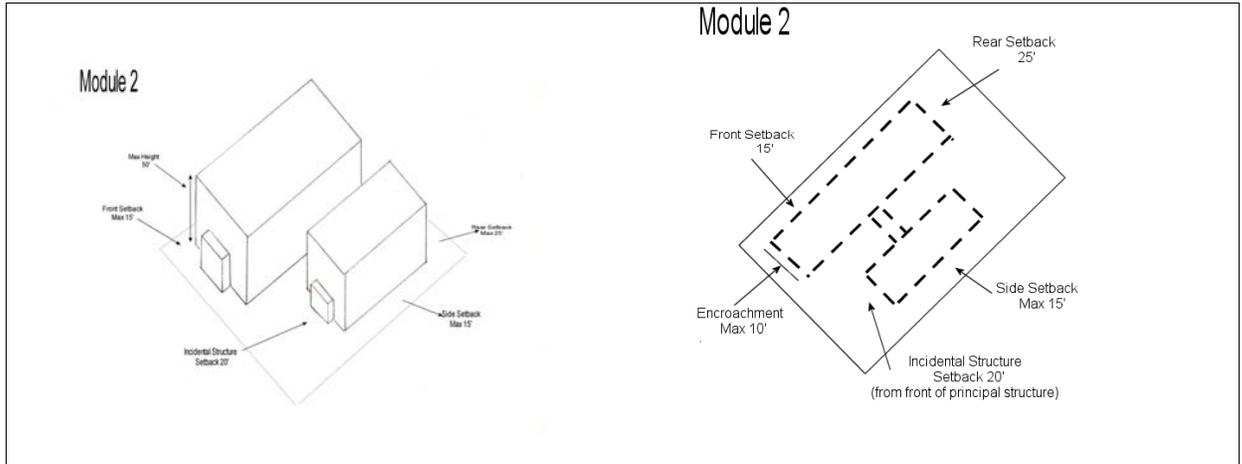
### General Requirements

1. Setbacks:
  - Front: 0 (zero) ft minimum
  - Side: 0 (zero) feet (shared common wall)
  - Rear Setback: 25 feet
  - Minimum Lot Width: 12 ft
  - Building Separation: 10 ft
  - Maximum Height: 50 ft
2. Encroachments: Buildings with zero setbacks and upper story balconies may encroach into the right-of-way up to 5 feet, but must not interfere with safety and pedestrian movement along the sidewalk. Encroaching arcades shall cover the entire sidewalk where feasible.
3. Vehicular Access to Lot: Rear, side and on-street parking will primarily serve the mixed-use areas. Shared parking is encouraged.
  - a) Building facades shall be parallel to frontage property lines.
  - b) Hedges, garden walls, or fences may be built on property lines or as the continuation of buildings walls. A garden wall, fence, or hedge (minimum 3 ft in height) shall be installed along any street frontage adjacent to parking areas.
  - c) Building facades at street frontage lines shall be pedestrian oriented and of pedestrian scale.
  - d) Primary pedestrian access into the building shall be from the street frontage line. Secondary access may be from parking areas.
  - e) Encourage varying lot frontages; protrusion and recession of building face.

## Module 2: Civic / Institutional Building

*Description: Specialized buildings intended to serve as public gathering places. Such uses include governmental offices, churches or other places of worship, schools, hospitals, post offices, and non-profit or charitable clubs and organizations.*

### Lot Dimensions



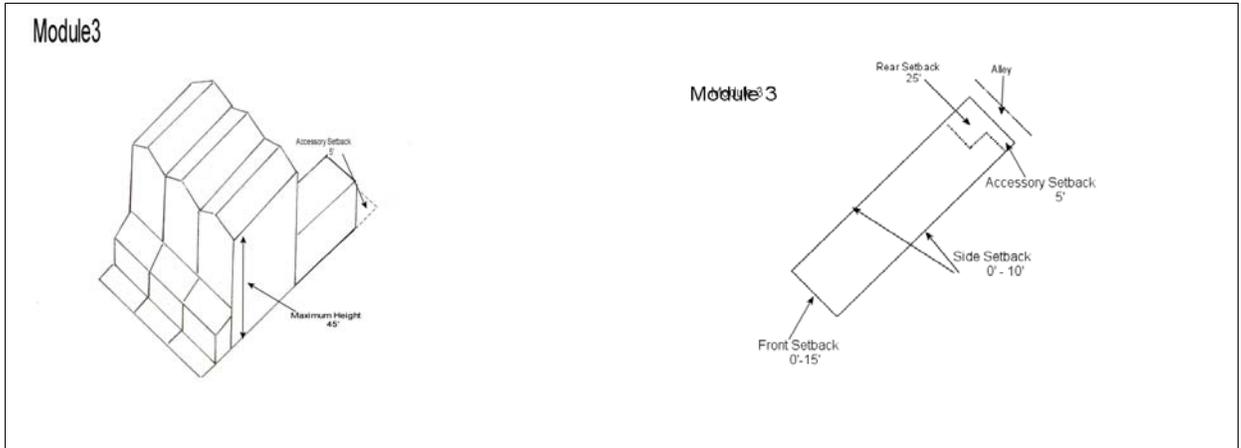
### General Requirements

1. Setbacks:
  - Front (Maximum): 15 feet
  - Side (Maximum): 15 feet
  - Rear Setback: 25 feet
  - Maximum Height: 50 feet
2. Encroachments: Balconies, stoops, stairs, open porches, bay windows, and raised doorways are permitted to encroach into the front setback a maximum of 10 feet. Encroaching arcades shall cover the entire sidewalk where feasible.
3. Vehicular Access to Lot: Parking shall be located on-street, to the rear or side yard only. Parking may not occur within a front setback or corner side setback.
  - a) Schools, churches, and government buildings should be built so that they terminate a street vista whenever possible, and shall be of sufficient design to create visual anchors for the community.
  - b) Building(s) incidental to the principal structures shall be behind a line a minimum of 20 feet from the front façade of the structure, and if more than one, shall be arranged to create secondary gathering spaces within the lot.

### Module 3: Attached Dwelling

*Description: An attached building includes duplexes, townhomes, apartments, condominiums, and granny flats.*

#### Lot Dimensions



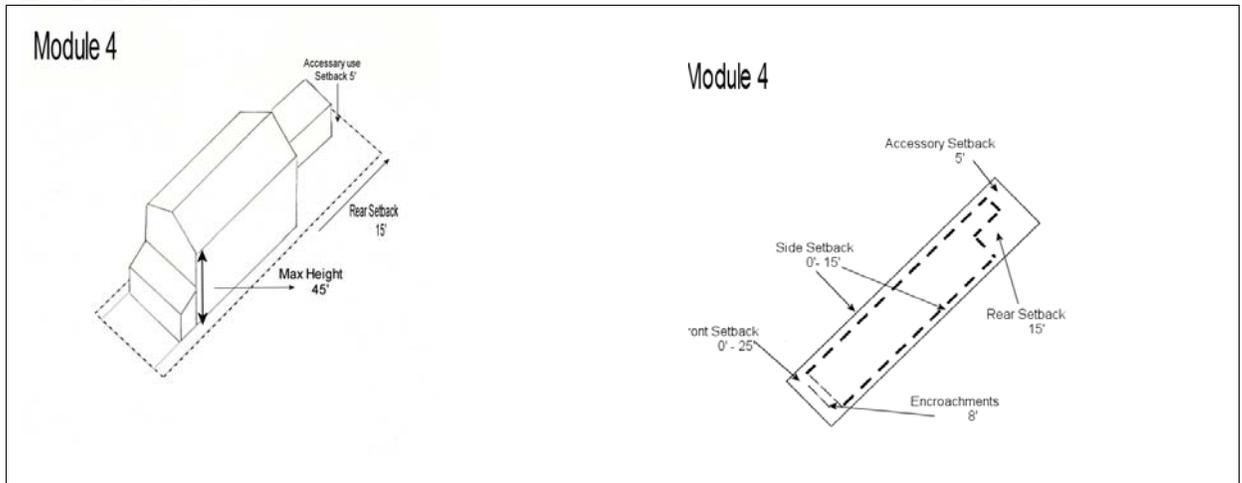
#### General Requirements

1. Setbacks:
  - Front: 0 (zero) – 15 feet
  - Side: 0 (zero) – 10 feet
  - Rear Setback with Alley: 25 feet
  - Rear Setback without Alley: 20 feet
  - Maximum Height: 45 feet
2. Encroachments: Balconies, stoops, stairs, chimneys, open porches, bay windows, and raised doorways are permitted to encroach into the front setback. Buildings with setbacks greater than zero and upper story balconies may encroach into the right-of-way up to 5 feet, but must not interfere with safety and pedestrian movement along the sidewalk.
3. Vehicular Access to Lot: Primary access will be from a rear alley or lane.
  - a) To provide privacy, all front entrances shall be raised from the finished grade (at the building line) a minimum of 18 inches.
  - b) Main pedestrian access to the building is from the street. Secondary access may be from parking areas located behind the building.
  - c) Decks must be constructed only in an established rear or side yard and are permitted to encroach into the rear setback up to 8 feet.
  - d) Accessory uses including garages may encroach into the setback but must be a minimum of 5 feet from the rear property line and a minimum of zero feet from the side property line.

## Module 4: Detached Dwelling

*Description: The detached house accommodates single-family uses, multi-family units up to four units, granny flats, home occupations, professional offices, and limited retail uses.*

### Lot Dimensions



### General Requirements

1. Setbacks:
  - Front (Maximum): 0-25 feet
  - Side (Maximum): 0-15 feet
  - Rear Setback: 15 feet
  - Maximum Height: 45 feet
2. Accessory uses, including garages, may encroach into the setback but must be a minimum of 5 feet from the rear property line and a minimum of zero feet from the side property line.
3. Encroachments: Balconies, stoops, stairs, chimneys, open porches, bay windows, and raised doorways are permitted to encroach into the front setback a maximum of 8 feet.
4. Vehicular Access to Lot: Primary access will be from rear alley or lane. Garage doors are not permitted on the front of any detached home.
  - a) Fences shall be no greater than 4 feet in height and walls no greater than 3 feet in height in the front or side yard setback. Fences or walls shall be no greater than 8 feet in height in the rear yard.
  - b) To provide privacy, all front entrances to Single-Family homes shall be raised from the finished grade a minimum of 18 inches

## SECTION 750.7: CIRCULATION STANDARDS

The circulation system shall allow for varying modes of transportation. The circulation system shall provide functional and visual links within the residential areas, mixed use area, and public open space of the TND and shall be connected to existing and proposed external development. The circulation system shall provide adequate traffic capacity, connected pedestrian and bicycle routes, traffic calming strategies, limit lot access to streets of lower traffic volumes via alleys, and promote safe and efficient mobility through the neighborhood.

(A) **Pedestrian Circulation** Convenient pedestrian circulation systems that minimize pedestrian-motor vehicle conflicts shall be provided continuously throughout the TND. Where feasible, any existing pedestrian routes through the site shall be preserved and enhanced. All streets, except for alleys, shall be bordered by sidewalks on both sides in accordance with the specifications listed in Table B1. The following provisions also apply:

1. **Neighborhood Center Area Sidewalks**. Clear and well-lighted sidewalks, 5-12 feet in width, depending on projected pedestrian traffic, shall connect all dwelling entrances to the adjacent public sidewalk. Sidewalks shall consist of two zones. A tree planting and street furniture zone and a sidewalk clear zone. Tree planting and street furniture zone shall be located immediately adjacent to the curb and shall be continuous. Tree plantings and street furniture should not obstruct pedestrian traffic.
2. **General Residential Area Sidewalks**. Clear and well-lighted sidewalks shall connect building entrances to adjacent public sidewalks, parking areas and residential dwellings. Such walkways shall be a minimum of 5 feet in width.
3. **Disabled Accessibility**. Sidewalks shall comply with the applicable requirements of the Americans with Disabilities Act.
4. **Crosswalks**. Intersections of sidewalks with streets shall be designed with clearly defined edges. Crosswalks shall be well lit and clearly marked with contrasting paving materials at the edges or with striping.

(B) **Bicycle Circulation** Bicycle circulation may be accommodated on streets and/or on dedicated bicycle paths. Where feasible, any existing bicycle routes through the site shall be preserved and enhanced. Facilities for bicycle travel may include off-street bicycle paths (generally shared with pedestrians and other non motorized users) and separate, striped, 4-foot bicycle lanes on streets.

(C) **Motor Vehicle Circulation** Motor vehicle circulation shall be designed to minimize conflicts with pedestrians and bicycles. Traffic calming features such as “queuing streets,” curb extensions, street trees and medians may be used to encourage slow traffic speeds.

(D) **Street Hierarchy** Each street within a TND shall be classified according to the following (arterial streets should not bisect a TND):

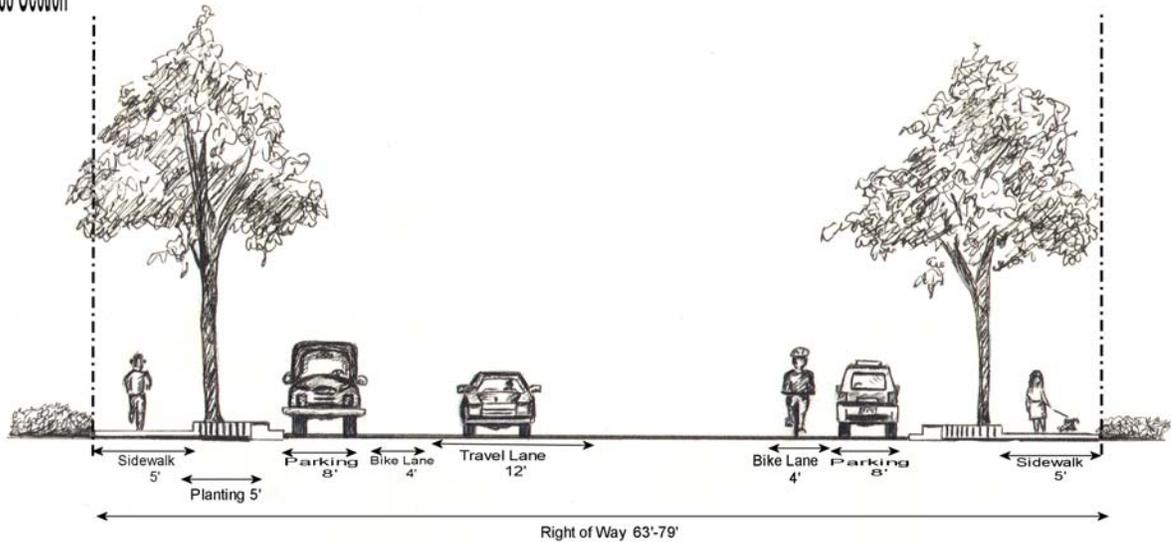
1. *Collector*. This street provides access to commercial or mixed-use buildings, but it is also part of the neighborhood's major street network. On-street parking, whether diagonal or parallel, helps to slow traffic. Additional parking is provided in lots to the side or rear of buildings. Design speed is 30 mph.
2. *Subcollector*. This street provides primary access to individual residential properties and connects streets of lower and higher function. Design speed is 25 mph.
3. *Local Street*. This street provides primary access to individual residential properties. Traffic volumes are relatively low, with a design speed of 20 mph.
4. *Alley*. These streets are fundamentally “driveways” that provide secondary access to residential properties where street frontages are narrow. Alley may provide limited on-street parking where streets are designed with narrow widths, or where alley access development is desired to increase

residential densities. Alleys may also provide delivery access or alternate parking access to commercial properties. Alleyways may be privately or publicly owned and maintained.

**Table B1: Attributes of Streets in a Traditional Neighborhood District**

	<b>Collector</b>	<b>Subcollector</b>	<b>Local Street</b>	<b>Alley</b>
<b>Average Daily Trips</b>	750-1500	750	Less than 250	Not applicable
<b>Right-of-way</b>	63-79 feet	43-63 feet	37-51 feet	12-20 feet
<b>Auto Travel Lanes</b>	Two or Three 12-foot lanes	Two 10-foot lanes	Two 10-foot lanes, or one 14 foot lane	one-way traffic
<b>Bicycle Lanes (optional)</b>	4 foot minimum width	4 foot minimum width	None	None
<b>Parking</b>	Both sides, 8 feet	None, one, or both sides, 8 feet	None or one side 8 feet	None
<b>Curb and Gutter</b>	Required	Required	Required	Not Required
<b>Planting Strips</b>	Minimum 5 feet	Minimum 5 feet	Minimum 5 feet	None
<b>Sidewalks</b>	Both sides, 5 foot minimum	Both sides, 5 foot minimum	Both sides, 5 foot minimum	None
<b>Maximum Design Speed</b>	30 mph	25 mph	20 mph	Less than 10 mph
<b>Minimum Permitted Curb Radius</b>	25 feet	20 feet	15 feet	Not applicable
<b>Minimum Parallel Parking width</b>	8 feet	8 feet	8 feet	Not applicable

Street Cross-Section



5. *Street Layout.* May follow a grid or may be curvilinear in design. In addition:
- Intersections shall be at right angles whenever possible, but in no case less than 75 degrees. Low volume streets may form three-way intersections creating an inherent right-of-way assignment (the through street receives precedence), which significantly reduces accidents without the use of traffic controls.
  - Corner radius. The roadway edge at street intersections shall be rounded by a tangential arc with a maximum radius of 15 feet for local streets and 20 feet for intersections involving collector or arterial streets. A tangential arc with a maximum radius of 10 feet shall round the intersection of a local street and an access lane or alley.
  - Curb cuts for driveways to individual residential lots shall be prohibited along Subcollector streets. Curb cuts shall be limited to intersections with other streets or access drives to parking areas for commercial, civic or multifamily residential uses. Clear sight triangles shall be maintained at intersections, as specified below, unless controlled by traffic signals.

Intersection of:

Minimum clear sight distance:

Local Street and collector	120 feet
Collector and collector	130 feet
Collector and arterial	50 feet

- The orientation of streets should enhance the visual impact of common open spaces and prominent buildings, and minimize street gradients. All streets shall terminate at other streets or at public land, except local streets may terminate in Sub Street when such streets act as connections to future phases of the development. Local streets may terminate other than at other street or public land where there is a connection to the pedestrian and bicycle path network at the terminus.

6. *Parking requirements.* Parking areas for shared or community use should be encouraged. In addition:
  - a) In the mixed-use area, any parking lot shall be located at the rear or side of a building. If located at the side, screening shall be provided as specified in the landscape section of the TND ordinance.
  - b) Multi-family uses including Mixed Use (Live/Work) units must provide 1.5 parking spaces for one and two-bedroom units and 2 parking spaces for three and four bedroom units.
  - c) Off-street, on-street, adjacent, or shared parking facilities may be counted toward meeting parking requirement for all uses.
  - d) In the neighborhood center area, a commercial use must provide one parking space for every 350 square feet of gross building area.
  - e) Shared parking is encouraged.
  - f) Parking shall be accessed by a rear alley or lane, when such are available on the community plan.
  - g) On street parking available along the frontage lines that correspond to each lot shall be counted toward the parking requirement of the building on the lot.
  - h) Parking provided in garages may count toward meeting parking requirements.
  - i) A parking lot or garage may not be adjacent to or opposite a street intersection.
  - j) See Landscape and Screening Standards Table 1 “Parking Buffer” for appropriate parking lot screening.
  - k) If bike lanes are provided parking lots or garages must provide no less than one bicycle parking space for every 10 motor vehicle parking spaces.
7. *Service access.* Access for service vehicles should provide a direct route to service and loading dock areas, while avoiding movement through parking areas.
8. *Paving.* Innovative use of Low-Impact Design (LID) is strongly encouraged to reduce impervious surfaces.

## **SECTION 750.8: OPEN SPACE REQUIREMENTS**

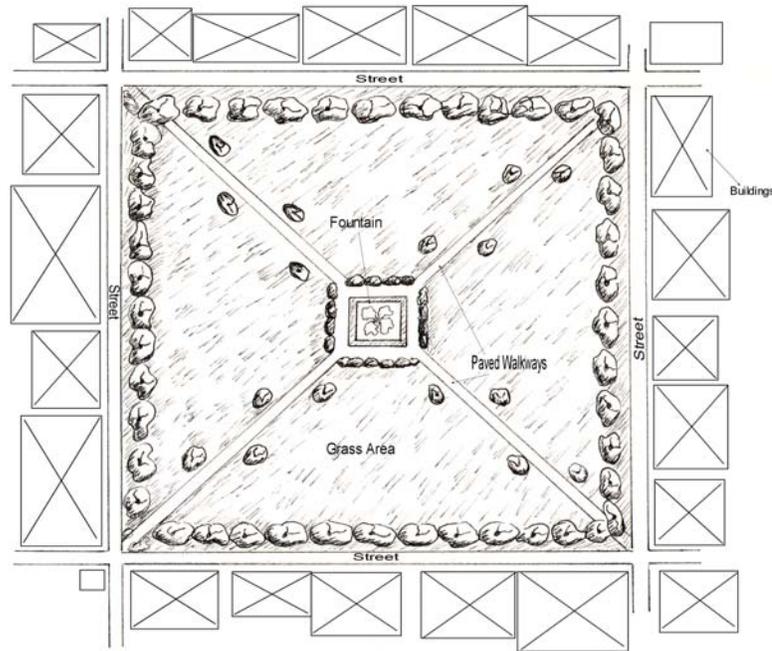
TND developments shall provide usable open space shall be within a five-minute walk of all residents, visitors, and workers within a TND. These open spaces may be on-site or on accessible adjoining properties. They shall be strategically located and designed to provide recreational opportunities for the neighborhood as well as relate to the physiographic character of the property.

For the purpose of this section, “accessible” means located within a five minute walk of all residents, visitors and workers within a TND and containing appropriate internal pedestrian or non-motorized vehicle paths.

- (A) A minimum of 5% any projects developable/net land area shall be permanently dedicated to spaces defined as Public Use Lots. Public Use Lots are reserved for open space throughout the TND and will not be occupied by buildings, parking lots, private residential yards, easements, setbacks, and streets except as recreational support facilities.
- (B) Land designated to meet open space requirements will be in the form of Parks, Greenways, Squares, Plazas, Playgrounds, Club Houses/Community Centers, Trail Systems, and Pocket Parks as specifically defined herein.
- (C) Centrally located pocket parks shall be provided as a fundamental component of an overall open space network and thereby intermittently spaced throughout.
- (D) Open Spaces will include open space structured to preserve existing woodlands and other unique geographic features of the TND as well as provide open space in areas that are developed for

residential, commercial, corporate, and other land uses. They may be improved and cleared of underbrush (unless otherwise specified) so that it is accessible.

- (E) Open Space requirements shall not be met via “residual/leftover” areas. Such areas shall be fundamental, functional components of the overall project layout and design and not subject to future conversion under any circumstances.
- (F) Each TND neighborhood larger than 5 acres will contain at least one Square or Plaza, and shall be utilized to give “form” to the TND (e.g. Savannah’s squares, etc.)



(G) Neighborhoods along waterfronts shall provide a portion of their Park and Square requirement along the waterfront. Streams, creeks, wetlands and other natural corridors located within the village shall be preserved as Greenways, but shall not count toward the required 5% Public Use Lot requirement.

(H) There are no parking requirements for open space lots

(I) Open spaces may or may not be accessible to the public, but shall be accessible to residents of the TND.

**(J) Types of public use lots.**

1. Park or Greenway: A natural preserve available for unstructured recreation. A park may be independent of surround building frontages. Its landscape shall consist of bicycle and/or pedestrian paths and trails, meadows, woodland and open shelters. Parks may be lineal, following the geographic form of natural corridors.
2. Green: An open space, available for unstructured recreation. A green may be spatially defined by landscaping rather than building frontages. Its landscape shall consist of lawn and greens, naturalistically disposed.
3. Square: An open space generally the size of a small city block. It is surrounded by public streets lined by buildings with entries and windows. It has trees at its edge to define the space and to provide shade and it is open at its center. It has both paved areas and grassy areas.
4. Plaza: An open space, available for civic purposes and commercial activities, that is spatially defined by building frontages. Its landscape shall consist primarily of pavement with street trees and such features as statues or fountains. Plazas shall be located at the intersection of important streets.

5. **Playground:** An open space designed and equipped for the recreation of children. Playgrounds shall be interspersed within residential areas. Playgrounds may be included within parks and greens, but generally should not be in Squares or Plazas.
6. **Club House/Community Center:** A combination of built and natural recreational features concentrated in one area or parcel including, club house building, restrooms, pools, tennis courts, picnic areas, and accessory facilities. Golf course green/fairway acreage shall not be counted towards the 5% open space requirement.
7. **Trail System:** A network of multi-modal (walking/bicycling) paths designed to provide distinct areas for recreational travel and use separate from traditional sidewalks. Trails should be a minimum of ten feet wide and constructed of a variety of material including, but not limited to concrete, brick, masonry paver, gravel, and mulch.
8. **Pocket Park:** A small park/open space centrally located amongst residential components for any project, whose main purpose is the provision of passive recreational opportunities. Though the space is required to be accessible from public infrastructure networks, no amenities are required or desired for such areas.
9. Land designated as private open space shall be owned and maintained by the POA or HOA. Alternatively, non-profit organizations such as the Open Land Trust may be designated to own certain open spaces or retain conservation easements for the preservation thereof.
10. Land designated as open space or public use lots shall remain as such in perpetuity.

## **SECTION 750.9: STORMWATER MANAGEMENT**

The design and development of the TND should minimize off-site stormwater runoff, promote on-site filtration, and minimize the discharge of pollutants to ground and surface water. Natural topography and existing land cover should be maintained and protected to the maximum extent practicable.

- (A) Redevelopment stormwater management systems should improve existing conditions to the extent practicable.
- (B) Low Impact Design (LID) is encouraged.

## **SECTION 750.10: ARCHITECTURAL STANDARDS**

(A) **General Requirements** A variety of architectural features and building materials are encouraged to give each building or group of buildings a distinct character.

1. As a general rule, buildings must reflect continuity between building scale and front yard setbacks at the building line.
2. A building must incorporate architectural styles and design features, building materials, and colors complimentary to those used in surrounding buildings. Buildings should maintain base courses, similar cornice lines in buildings of the same height, and extend horizontal lines of windows.
3. Architectural embellishments that add visual interest to roofs, including but not limited to dormers, belvederes, masonry chimneys, cupolas, clock towers, and other similar elements are encouraged on a sparing basis.
4. In mixed residential areas the height and massing of a building shall not be more than twice the height and massing of structures adjacent to, or across the street from, the building.
5. In the neighborhood core area where commercial and mixed-use buildings are located, structures need to be integrated in appearance with the area and should not exceed twice the height and massing of adjacent buildings.

6. Buildings should be designed to create street level interest and pedestrian comfort. Doorways, covered walkways, windows, and other street level ornamentation should be incorporated to create pedestrian scale and inviting spaces.
7. Buildings must avoid long, monotonous, uninterrupted walls or roof planes. Blank, windowless walls are discouraged. Where solid walls are required by building codes, the wall should be articulated by the provision of added elements such as blank window openings trimmed with frames, sills, lintels, or, if the building is occupied by a commercial use, by using recessed or projecting display window cases.
8. Roofline offsets and building wall offsets, including projections, recesses, and changes in floor level should be used to add architectural interest and variety.
9. Commercial structures should provide weather protections such as awnings, covered walkways, and colonnades.
10. All openings including porches, galleries, arcades and windows, with the exception of storefronts, shall be square or vertical in proportion.
11. Ground floor retail, service, restaurant, and other commercial uses may provide gridded or large pane display windows on the facades and glazed no less than fifty (50) percent.
12. If an existing structure on the parcel is determined to be historic by the Horry County Board of Architectural Review or the South Carolina Department of Archives and History, or architecturally significant, it shall be protected from demolition or encroachment by incompatible structures or landscape development.
13. A consistent building line should be maintained at the setback line along the street. However, projections of porches, bay windows, stoops, and their minor building masses into the building line are encouraged to create an interesting streetscape.
14. The architectural features, materials, and the articulation of a facade of a building shall be continued on all sides visible from a public street.
15. Entrances and storefronts must face the street. All entrances to a building must be defined and articulated by architectural elements such as columns, porticoes, porches, overhangs, railings, balustrades, and other similar elements.
16. Doors, windows, balconies, porches, and roof decks should be oriented toward the street and other public spaces to encourage social interaction.
17. Building wall materials may be combined together on each façade in a horizontal pattern only, with the heavier below the lighter.
18. It is encouraged that street walls match the façade of the Principal Building.
19. Doors and windows that operate as sliders are prohibited along frontages.
20. Streetscreens should be between 3 and 8 feet in height and constructed of a material matching the adjacent building façade. Streetscreens shall have openings no larger than necessary to allow automobile and pedestrian access. See the Landscape and Screening Standards in the TND ordinance.

**(B) Exterior signage**

1. A comprehensive sign program is required for the entire Traditional Neighborhood to establish a uniform theme. Signs shall share a common style (e.g. size, shape, material). In the neighborhood, signs shall be awning signs, wall, hanging or similar accessory signs. Wall signs shall be sized and placed to fit within the architectural elements.
2. Signage may be lit externally only, unless otherwise specified.

**(C) Exterior wall types and materials**

1. *Walls* shall be no more than one color per material used. Suggested finishing materials may be brick, stucco, wood clapboard (sealed with paint or stain), or hardiplank (painted).
2. *Foundation Walls Piers and Pilings*. Suggested materials may be parged block, brick, stucco, or smooth-finished poured concrete.

3. *Crawl spaces.* May be skirted with horizontal wood boards or framed wood. Lattice shall be installed between piers and pilings.
4. *Garden Walls.* Suggested finishing materials may include but are not limited to stucco, brick, or stucco capped with brick. Gates in garden walls may be wood, iron or similar material and should be consistent and complementary to the principle structural material.
5. *Retention Walls.* Suggested material may include parged block, tumbled brick, smooth finished poured concrete, stone, or other material of suitable blend with other site features.

**(D) Garages and Accessory Dwelling Units**

Garages and accessory dwelling units may be placed on a single-family detached residential lot. Building footprint shall not exceed 800 square feet.

**(E) Roofs**

1. Pitched roofs, if provided, shall be symmetrically sloped no less than 5:12, except that porches and attached sheds may be no less than 2:12.
2. Flat roofs shall be enclosed by parapets a minimum of 42 inches high, or as required to conceal mechanical equipment and shall be horizontal in elevation when viewed from the street.
3. Roof penetrations, except stucco or brick chimneys, shall be placed so as not to be easily visible from streets or paths. Roof penetrations shall be painted to match the color of the roof, except those of metal, which may be left unpainted.
4. Skylights shall be flat and placed so as not to be easily visible from streets or paths.

**(F) Lighting**

1. Street lighting shall be provided along all streets. Lighting plans should utilize more low-intensity lights rather than high-intensity lights.
2. Exterior lighting shall be directed downward in order to reduce glare onto adjacent properties.

**(G) Fencing**

1. The following fence types are permitted in the TND.
  - a) Masonry or stone walls;
  - b) Ornamental iron;
  - c) Wood;
  - d) Hedges, or
  - e) Similar materials that compliment those used in the Principle Structure.
2. Obstruction of view: No fence shall be placed or maintained in such a manner as to obstruct vehicular vision at any intersection of public or private streets.
3. Obstruction of access: No fence shall block access from doors or windows. Fences shall be located at least two feet from building walls except where fences project from a building wall.
4. Obstruction of Drainageway: Fence construction shall not alter or impede the natural flow of water in any stream, creek, drainage swale, or ditch.
5. Chain link fencing is prohibited in this district.

**SECTION 750.11: LANDSCAPING AND SCREENING STANDARDS**

**(A)** Landscaping and buffer requirements. To promote a continuous and unified theme, improve the appearance of structures, and provide protection to adjacent properties from the negative impacts of more intense development, the following standards shall apply.

**(B)** Existing mature trees, particularly historic and protected trees shall be retained. Removal of protected and specimen trees as defined by Section §527 of the Horry County Code of Ordinances is **strictly prohibited**

prior to the submission of regulation tree survey. Selective clearing shall be permitted upon submission of a tree protection plan if approved by the Zoning Administrator or his/her designee. See Table 3 Protected and Specimen Trees in Section §527.4 of the Zoning Ordinance.

**(C)** Landscaping shall be distributed around the foundation of all structure perimeters visible from any public right-of-way, according to the formula and standards below:

Calculation of required landscaping:

$$PR = L \text{ or } W/3.0$$

Where: PR = number of plants required

L or W = building length or width, in feet, visible from any public right-of-way

**(D)** For each canopy or understory tree that is provided to meet the foundation landscaping requirements the total number of required foundation plants may be reduced by five plants.

**(E)** Required plant materials shall be located in a planting area adjacent to the building foundation. If the proposed building is to be accessed by vehicles through service doors and such doors are visible from a public right-of-way, the plant materials required for that length or width shall be exempted from these provisions.

**(F)** Acceptable plant species, maintenance standards, and sizes to meet the above requirements are listed in Table 2: Plant Selection List

**(G)** A streetscape buffer shall be provided on the street-fronting perimeter of all parcels. The buffer width shall be a minimum of 10 feet measured inward from the right of way and improved to the standards for streetscape buffers listed Table 1. Especially in cases where any commercial property being developed abuts a single-family residential property, a buffer intended to spatially differentiate contrasting uses should be utilized to mitigate the transition from all levels of commercial development to residential development.

**(H)** No fence, berm, or landscape material shall be designed or located in a manner that obstructs the vision of vehicular traffic at street and/or driveway intersections. When a new residential development is created adjacent to or abutting to an existing non-residential zoned property within the corridor, it is the responsibility of that new residential development to meet the buffer requirements and improvement standards listed in the Table 1 below.

1. Angled parking layouts, etc., at its discretion. Permitted uses within the required streetscape buffer include driveway access, transit oriented uses including bus stops and shelters, pedestrian and bike paths, lighting fixtures, signs, benches and other streetscape furniture.
2. All required planting areas shall be mechanically irrigated, except in the case where indigenous drought resistant plants are utilized. This shall include all tree islands and all areas of required frontage landscaping between the parking lot and public streets. Required planting areas associated with parking lots containing less than thirty (30) parking spaces are not required to be irrigated. However, an exterior water source (such as a hose bib) shall be located within 100 feet of all required planting areas. If the project area is required to be irrigated, include the following statement on the Site and Landscaping Plan, "All planting areas shall be mechanically irrigated." and/or, provide an irrigation plan.
3. Maintenance shall consist of mowing, removal of litter and dead plant materials, necessary pruning, and maintenance of screens in Conformance with the surrounding area. Natural watercourses within a buffer shall be maintained as free flowing and free of debris. Stream channels shall be maintained so as to act alter floodplain areas. It shall be unlawful to deviate from an approved landscape plan unless otherwise permitted by the Zoning Administrator or designee. Failure to comply with the above maintenance requirement shall constitute a violation of the zoning ordinance and be subject to the fines and penalties specified therein

4. Ditches, swales, stormwater conveyance facilities, stormwater retention ponds, sanitary sewer conveyance facilities, and associated easements may encroach into the buffer area or a required screening berm.
5. The Zoning Administrator may, at its discretion, approve an alternate designs incorporating visually appealing fencing or earthen berms. The Planning and Zoning Department may, at its discretion, approve alternate species not included on the approved plant list if the property owner submits a letter from a registered landscape architect, horticulturist, botanist, or plant nursery operator stating that the growing conditions in the County favor the healthy growth and maintenance of that species. The Planning and Zoning Department may also require landscaping to be installed in locations left empty from the parking layout, such as corner islands associated with

**TABLE: 1 BUFFER DESIGN GUIDELINES**

Buffer Type	Application	Design specifications
<b>Streetscape Buffer</b>	Fronting perimeter of all lots	<p>This buffer is intended to soften the transition from the street side to the remainder of the property as well as provide a sense of separation between the street and property use. Streetscape buffers are required for all uses adjacent referenced street corridors. All uses that require site plan approval shall preserve, maintain or install a vegetated/planted buffer that abuts the perimeter of the property. This should include a minimum of one canopy tree for every forty (40) linear feet of buffer area or two understory trees for every forty (40) linear feet of buffer area. Plantings of deciduous and evergreen trees shall be a minimum (2.5 inch) caliper and ten (10) feet in height at the time of planting and shall obtain a height at maturity of at least twenty (20) feet. Canopy Large trees shall be spaced no wider than forty (40) feet at the time of planting. At least twenty-five (25) percent of the required trees shall be evergreen species. Streetscape trees should be chosen from “Streetside and Walkways” group in the Tree Selection Guide in Table 4. Streetscape buffers are required for all properties having primary frontage along any level of roadway. Additional parking facility screening may be required if parking is located along the frontage.</p>
<b>Parking Buffer</b>	All parking/paving perimeters	<p>Parking areas shall be buffered from all corridors. Buffering may be accomplished through the retention of vegetation in the required buffer area or through the placement of a berm not less than one (3) feet in height and planted with a stabilizing ground cover, or placement of plants or shrubs that are a minimum of eighteen (18) inches at the time of planting and no greater than six feet apart.</p>

*Notes: All required buffers shall be improved in the following manner:*

- a) Be planted with materials capable of survival in the environment in which they are installed with minimal maintenance; and
- b) Complement the structure, through color and foliage cover, for which they are planted around; and
- c) Acceptable plant species, maintenance standards and sizes to meet the above requirements are listed in Table 4:Landscape Tree Selection guide and Table 5:Plant Selection Guide.
- d) Provide visual direction, through plant heights, to entrances or other access features to the site; and
- e) Be planted in a manner that will not impede traffic safety by blocking or otherwise obstructing traffic signals, signs, or other devices.
- f) When a natural, undisturbed buffer is retained along the perimeter of the TND, sides and rear of a renovated or newly developed property, a waiver of the required perimeter landscaping may be granted. Granting such waiver shall be determined by the Zoning Administrator or designee upon review of a site plan identifying the vegetation retained in the buffers. In no instance, shall a waiver be granted if the plants retained in the buffers are not equal, in number not plant type, to those required by buffer design guidelines.

**TABLE 2: LANDSCAPE TREE SELECTION GUIDE**

<b>Canopy Trees (40' - 80')</b>				
<b>Common Name</b>	<b>Recommended Use</b>	<b>Growth Rate</b>	<b>Deciduous or Evergreen</b>	<b>Remarks</b>
Ash, White	Lawn and shade	Fast	Deciduous	Grown best in moist, well-drained soils
Ash, Green	Lawn and shade	Fast	Deciduous	Disease resistant, upright form, non-fruiting (Marshall Seedless)
Bald cypress	Lawn and shade, pond perimeter	Medium	Deciduous	Suitable in poorly-drained sites, adapts to drought
Birch, River	Lawn and shade	Fast	Deciduous	Interesting peeling bark, lower branches droop
Black gum	Lawn and shade	Slow	Deciduous	Pyramid shaped, oval leaves turn orange to bright scarlet in fall
Cedar, Deodar	Lawn and shade	Fast	Evergreen	Pyramidal form requires large planting area
Cypress, Leyland	Lawn and shade	Fast	Evergreen	Fast growing, makes excellent screen, useful as Christmas tree
Elm, Chinese (Lacebark)	Lawn and shade	Fast	Deciduous	Fast-growing and hardy, handsome ornamental with showy bark
Ginkgo	Streetside and walkways	Slow	Deciduous	May require 20 years to attain mature form, male preferred

Honeylocust, 'Skyline'	Streetside and walkways	Fast	Deciduous	Thornless and fruitless variety, subject to borers
Linden, American	Streetside and walkways Lawn and shade	Medium	Deciduous	Drought tolerant, large shade tree
Magnolia, Southern	Lawn and shade	Medium	Evergreen	Maintain high organic content in soil, needs large growing space
Maple, Red	Lawn and shade	Fast	Deciduous	Protect thin bark on young plants from injury, hardy plant
Oak, Chestnut	Streetside and walkways	Medium	Deciduous	Drought resistant
Oak, Laurel (Darlington)	Streetside and walkways	Fast	Deciduous/ Evergreen	Handsome shade tree, semi-evergreen
Oak, Live	Lawn and shade	Medium	Evergreen	Broad, spreading canopy, tolerant of soil compaction
Oak, Pin	Lawn and shade Streetside and walkways	Fast	Deciduous	Hardy, easily transplanted, holds brown leaves through winter
Oak, Sawtooth	Lawn and shade	Medium	Deciduous	Excellent nut producer for urban wildlife
Oak, Scarlet	Streetside and walkways	Fast	Deciduous	Excellent multi-purpose tree, red fall color
Oak, Water	Lawn and shade	Medium	Deciduous	Sensitive to root disturbance, transplants easily
Oak, White	Lawn and shade	Slow	Deciduous	Majestic, long-lived specimen, handsome light grey bark
Oak, Willow	Streetside and walkways	Fast	Deciduous	Excellent multi-purpose tree, balanced shape
Palmetto, Cabbage	Streetside and walkways	Medium	Evergreen	Recommended for coastal areas to lower Midlands, tropical look
Pecan	Lawn and shade	Slow	Deciduous	Broad, open crown filters sunlight, brittle wood
Pine, Loblolly	Lawn and shade	Fast	Evergreen	Tolerates poor soil, use in mass as a buffer
Pine, Longleaf	Lawn and shade	Fast	Evergreen	Ice/snow accumulates on needles, suitable for dry sandy soils
Planetree, London	Streetside and	Fast	Deciduous	Hardy, tolerant of city

	walkways			conditions, creamy colored peeling bark
Red cedar, Eastern	Lawn and shade	Medium	Evergreen	Makes excellent buffer, tolerant of poor rocky soils
Sweetgum	Streetside and walkways	Medium	Deciduous	Seed-balls may be nuisance, easily killed by spreading fill dirt around trunk and roots
Sycamore	Streetside and walkways	Fast	Deciduous	Creamy white bark, leaf raking considered a nuisance
Tulip Poplar (Yellow Poplar)	Lawn and shade	Fast	Deciduous	Protect thin bark from injury, wood rots quickly, moist sites best
Zelkova, Japanese	Streetside and walkways	Medium	Deciduous	Short trunk, spreading branches, disease resistant

<b>Understory Tree (20'-40')</b>				
<b>Common Name</b>	<b>Recommended Use</b>	<b>Growth Rate</b>	<b>Deciduous or Evergreen</b>	<b>Remarks</b>
Cherry, Weeping	Lawn and shade	Medium	Deciduous	Graceful and airy, pink flowers
Cherry, Yoshino	Lawn and shade	Fast	Deciduous	Prolific flowering, most effective in front of evergreens
Crabapple, Flowering	Lawn and shade	Medium	Deciduous	Apples in late summer can be messy, white, pink, or red flowers
Crape myrtle	Streetside and walkways	Fast	Deciduous	Multitrunked with white, pink, purple, or red flowers
Dogwood, Flowering	Streetside and walkways Lawn and shade	Medium	Deciduous	Protect from bark damage, large white blooms, red berries
Dogwood, Kousa	Lawn and shade	Medium	Deciduous	White blooms in early summer, resistant to disease
Golden Raintree	Streetside and walkways	Medium	Deciduous	Showy, yellow flowers, requires well-drained soil
Holly, American	Streetside and walkways	Slow	Evergreen	Berries on female plants, spiny dark green leaves
Holly, Foster 'Hume #2'	Lawn and shade	Medium	Evergreen	Few spines on leaves

Holly, Foster 'Savannah'	Lawn and shade	Medium	Evergreen	Excellent fruiting
Holly, Foster 'Foster #2'	Lawn and shade	Medium	Evergreen	Strongly upright form
Loquat	Lawn and shade	Fast	Evergreen	Interesting espaliered plant, fragrant flowers in winter
Magnolia, Saucer	Lawn and shade	Medium	Deciduous	White to pink or purple flowers before leaves appear in spring
Maple, Japanese	Lawn and shade	Slow	Deciduous	Grows best in part shade, color may be green to purple
Plum, Pissard	Lawn and shade	Medium	Deciduous	Best growth in full sun, reddish purple foliage, light pink flowers
Redbud, Eastern	Streetside and walkways Lawn and shade	Medium	Deciduous	Drought resistant, small purple flowers
Sourwood	Lawn and shade	Slow	Deciduous	White flowers in mid-summer, scarlet fall color
Sweetbay	Lawn and shade	Medium	Evergreen	Fragrant white flowers, thick green leaves
Wax myrtle	Lawn and shade	Medium	Evergreen	Evergreen, combines well with junipers
Yaupon	Lawn and shade	Medium	Evergreen	Many red berries, hardy

**Notes:** Where existing utility lines interfere with part of the buffer, the large tree requirement may be substituted

by the use of all small trees (4 trees per 1000 square feet).

The following list shall be used for plant materials selections whereby:

1. Different plant types are planted in appropriate locations.
2. The use of **nonlisted** or harmful plants is prohibited.

**TABLE 3: PLANT SELECTION LIST**

Shrubs 6'--12'—Evergreen		
Botanical Name	Common Name	Spacing
Azalea indica	Southern azalea	3. 5
Bambusa glaucenscens	Hedge bamboo	3
Callistemon citrinus	Bottlebrush	4
Camellia japonica	Camellia	3. 5

Camellia sasanqua	Sasanqua camellia	3. 5
Camellia sinensis	Tea	3. 5
Cleyera japonica	Cleyera	4
Elaeagnus pungens	Elaeagnus	5
Feijoa sellowiana	Pineapple guava	5
Ilex aquifolium	English holly	5
Ilex cornuta	Chinese holly	5
Ilex crenata	Japanese holly	3. 5
Ilex latifolia	Lusterleaf holly	5
<b>Shrubs 6'--12'—Evergreen cont'd</b>		
<b>Botanical Name</b>	<b>Common Name</b>	<b>Spacing</b>
Ilex vomitoria	Yaupon holly	5
Illicium anisatum	Anise tree	4
Juniperus chinensis "Hetzi"	Hetzi juniper	5
Juniperus chinensis "Torulosa"	Hollywood juniper	5
Laurus nobilis	Bay	5
Leucothoe populifolia	Florida leucothoe	4
Ligustrum japonicum	Wax leaf Ligustrum	4
Ligustrum lucidum	Glossy privet	5
Ligustrum sinensis variegatum	Variegated privet	4
Loropetalum chinense	Loropetalum	4
Michelia figo	Bananashrub	5
Myrica cerifera	Wax myrtle	5
Nerium oleander	Oleander	5
Osmanthus x fortunei	Fortune tea olive	5
Osmanthus fragrans	Fragrant tea olive	5
Osmanthus heterophyllus	Holly leaf olive	4
Pittosporum tobira	Pittosporum	3. 5
Podocarpus macrophyllus maki	Podocarpus	3
Prunus laurocerasus	English laurel	5
Pyracantha Koidzuii	Pyracantha	5
Viburnum japonicum	Japanese viburnum	5
Viburnum odoratissimum	Sweet viburnum	4

Viburnum rhytidophyllum	Leatherleaf viburnum	4
Viburnum tinus	Laurestinus viburnum	5

Shrubs 6'--12'—Deciduous		
Botanical Name	Common Name	Spacing
Azalea species	Deciduous native azaleas	4
Buddleja davidii	Butterfly shrub	3
Calycanthus praecox	Wintersweet	5
Cotoneaster salicifolius	Willowleaf cotoneaster	5
Cytisus scoparium	Scotch broom	5
Deutzia scabra	Pride of Rochester	4
Forsythia x intermedia	Forsythia	5
Hamamelis virginiana	Witchhazel	5
Hibiscus syriacus	Rose of Sharon	4
Hydrangea paniculata	Peegee hydrangea	4
Ilex decidua	Possumhaw	5
Ilex verticillata	Winterberry	5
Spiraea prunifolia "dena"	Bridalwreath spiraea	3
Spiraea x vanhouttei	Vanhoutte spiraea	5
Viburnum sp.	Deciduous viburnums	5
Vitex agnus-castus	Vitex	5
Weigelia florida	Weigelia	5

Shrubs 4'--6'--Evergreen		
Botanical Name	Common Name	Spacing
Abelia grandiflora	Abelia	3
Aucuba japonica	Aucuba	3
Azalea hybrida	Hybrid azaleas	3
Berberis julianae	Wintergreen barberry	3
Buxus microphylla japonica	Japanese boxwood	3
Fatsia japonica	Fatsia	3
Gardenia jasminoides	Gardenia	3
Ilex cornuta "Burfordi nana"	Dwarf burford holly	3

Ilex crenata "convexa"	Convexa holly	3
Jasminum floridum	Florida jasmine	3. 5
Juniperus chinensis "Pfitzeriana"	Pfitzer juniper	4
Mahonia bealei	Leatherleaf mahonia	3
Mahonia pinnata	Cluster mahonia	3
Prunus laurocerasus "Schipkaensis"	Schipka laurel	3
Pyracantha coccinea	Firethorn	4
Pyracantha koidzumii "Lowdense"	Dwarf pyracantha	3
Raphiolepis umbellata	Yedoo hawthorn	3
Raphiolepis x majestic beauty	Majestic hawthorn	5
Viburnum suspensum	Sondankwa viburnum	3

<b>Shrubs 4'--6'--Deciduous</b>		
<b>Botanical Name</b>	<b>Common Name</b>	<b>Spacing</b>
Berberis thunbergii	Barberry	3
Callicorpa americana	Beautyberry	4
Chaenomeles speciosa	Quince	3
Hydrangea macrophylla	Bigleaf hydrangea	3
Hydrangea quercifolia	Oakleaf hydrangea	4
Kerria japonica	Kerria	4
Miscanthus sinensis "gracillimus"	Maidengrass	3

**SECTION 750.12: STREET FURNITURE**

- (A) Street furniture objects may include but are not limited to benches, bicycle racks, banners, street signs, litter/recycling bins, news vending boxes, lighting standards, kiosks and transit shelters.
- (B) Street furniture objects shall be placed in a manner so that all businesses shall have a clear path of travel past the store frontage on the sidewalk and into the front entry of businesses.
- (C) Street furniture objects shall not be placed over any utility box, or within 3 feet of a fire hydrant.

**SECTION 750.13: HOME/PROPERTY OWNERS ASSOCIATION**

- (A) Streets, alleys, sidewalks, street furniture, open and common space shall be owned and maintained by a Home Owners or Property Owners Association.